

Planning Committee
13 September 2018

Reference:
APP/18/00694

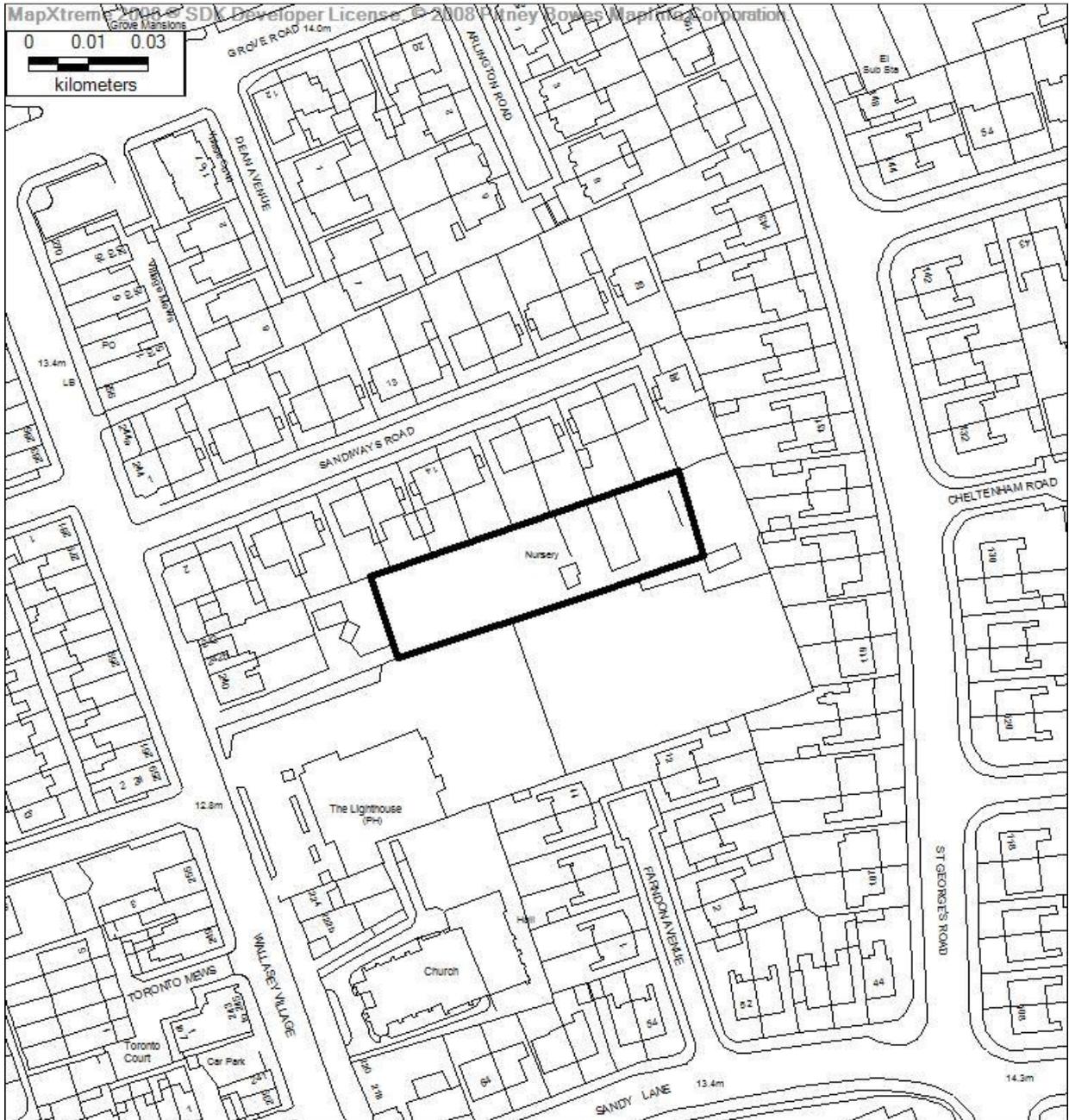
Area Team:
North Team

Case Officer:
Mrs S Williams

Ward:
Wallasey

Location: Vacant Land to the rear of 240-240b Wallasey Village, Wirral, CH45 3LP
Proposal: Erection of two single storey detached dwellings
Applicant: Mr Hodgson
Agent : Collins Architecture

Site Plan:



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Development Plan designation:

Traditional Suburban Centre
Primarily Residential Area

Planning History:

Location: Anchor Cottage, WALLASEY VILLAGE, CH45 3LP
Application Type: Outline Planning Permission
Proposal: Outline application for a residential house and garage with access off Wallasey Village Road
Application No: OUT/13/01403
Decision Date: 21/02/2014
Decision Type: Approve

Location: Anchor Cottage, WALLASEY VILLAGE, CH45 3LP
Application Type: Reserved Matters
Proposal: Approval of reserved matters for access, appearance, landscaping, layout and scale following the approval of outline planning application OUT/13/01403.
Application No: DLS/14/01078
Decision Date: 27/10/2014
Decision Type: Approve

Location: ANCHOR COTTAGE, WALLASEY VILLAGE, CH45 3HJ
Application Type: Full Planning Permission
Proposal: Detached dwelling with access from Wallasey Village Road. (The application is essentially a copy of OUT/13/01403 & DLS/14/01078 but with an alteration to bay on the front elevation)
Application No: APP/15/01414
Decision Date: 02/12/2015
Decision Type: Approve

Summary Of Representations and Consultations Received:**REPRESENTATIONS:**

Having regard to the Council's Guidance for Publicity on Planning Applications, 21 notifications were sent to adjoining neighbouring properties and a site notice was displayed near the site. At the time of writing this report 13 objections have been received along with a petition containing 161 signatures against the proposal. Concerns can be summarised as:

1. Land designated as agricultural land
2. Subject to covenant
3. Highway safety concerns (narrow passage accessed onto busy main road) vehicle and pedestrian safety/emergency vehicles not being able to gain access through narrow lane (3.2m wide)
4. Separation distance not achieved properties in Sandiways Road (14m wall to wall)
5. Archived objections to previous applications appear to be ignored or not considered (situation remains unchanged)
6. Believed that the land in front of Anchor Cottage is a private driveway
7. Bats roosting in the trees that are to be removed from site/Loss of urban wildlife habitats
8. Loss of privacy/light
9. Detrimental to the area
10. Effect on property prices as the open aspect would be lost
11. Endangering all of the residents living in Sandiways Road and surrounding area
12. Advice sought that only 1 additional residential unit is likely to be acceptable
13. Distance from the boundaries at the rear of Sandiways Road to the boundary of the proposed development varies from 1.5m to 0.5m
14. Private access dug up for services to be brought on to the land
15. Noise and light pollution
16. Drainage issues
17. Land used for allotments should remain as allotments

18. Setting a precedent (horse field possibly will be built on)

Additionally, Councillor Hayes has requested the application to be taken out of delegation for the following reasons:

1. The size and scale being inappropriate to the plot
2. Overdevelopment of the site
3. Separation distances
4. Effect on wildlife (specifically bats)
5. Access to site being inadequate for emergency and other vehicles

CONSULTATIONS:

Highways - No objections

Environmental Health - No objections

Director's Comments:

Consideration of this application was deferred at Planning Committee on 16 August 2018 to allow for a formal Member's site visit to take place.

REASON FOR REFERRAL TO PLANNING COMMITTEE

A petition of objection has been received containing 161 signatures and Councillor Paul Hayes has requested the application is taken out of delegation.

INTRODUCTION

The proposal seeks planning permission for the erection of two detached bungalows on land to the rear of 240 Wallasey Village.

SITE AND SURROUNDINGS

The site is located within a Primarily Residential Area as designated in the Wirral Unitary Development Plan and is adjacent to Wallasey Village Traditional Suburban Centre. The land is currently vacant and contains substantial vegetation, and was previously used for a small number of informal allotments.

The site is accessed via a driveway leading from Wallasey Village, adjacent to the vacant shop 240 Wallasey Village. Anchor Cottage is sited to the west of the application site, which consists of a modern two-storey detached dwelling house. Additionally, there are residential dwellings along Sandiways Road to the north, south east of the site is a paddock and to the south west 'The Lighthouse' Public House.

POLICY CONTEXT

The proposal is to be assessed against Wirral Unitary Development Plan Policy HS4: Criteria for New Housing Development, HS10: Backland Development, SPG10: Backland Development and the National Planning Policy Framework (NPPF).

Policy HS4 requires that the proposal in general terms must relate well to adjacent properties and not result in a detrimental change in the area or to the amenity of neighbouring properties.

Policy HS10 requires that proposals retain sufficient garden space, does not result in a detrimental change in the area and provides a sufficient width to provide a private drive with adequate vehicle turning and parking points.

Development Management Policies in the Joint Waste Local Plan for Merseyside and Halton are also applicable. Policy WM8 indicates that development should make efficient use of resources; Policy WM9 also requires development to provide measures for waste collection and recycling, including home composting, which can be secured through a planning condition.

The NPPF (revised NPPF, 24 July 2018) supports indicates that good design is a key aspect of sustainable housing development. Planning decisions are expected to ensure developments add to the overall quality of the area, are visually attractive as a result of good architecture and sympathetic to local character, and optimise the potential of the site to accommodate and sustain an appropriate

amount and mix of development (including green and other public space). Poor design that fails to take the opportunities for improving the character and quality of the area should be refused (NPPF paragraphs 124, 127 & 130 refer).

APPEARANCE AND AMENITY ISSUES

Local residents claim that the site is used as allotments and state that the site should stay as this use. However, at the time of visiting the site, it appeared that the allotments have not been maintained for some time with the site having an untidy appearance and being overgrown in nature. It is understood that the allotments consisted of extremely small plots and were generally used in an informal way, and therefore their loss is deemed acceptable.

Character of the Area

The site measures approximately 1575 square metres in area and given the density of the surrounding properties it is considered that the principle of two detached bungalows in this location is acceptable. The site is considerable in scale, and can accommodate two dwellings, with off-street parking and sufficient amenity space for each of the dwellings. The plot sizes for each dwelling is comparable to the pattern of dwellings within the street scene, and will not be detrimental to the character of the area. The development therefore complies with policy HS4 and the NPPF.

The majority of properties in the surrounding area are two-storey in scale - however, the smaller scale of the proposed bungalows will ensure that they do not harm the amenities of neighbouring properties. It is considered that the scale and design of the bungalows will not harm the character of the area, especially given their location set behind the main frontage of properties along Wallasey Village.

Residential Amenity

The bungalows would be evenly spaced out from east to west, with a 21 metre separation distance being achieved between each proposed bungalow and with the existing dwelling Anchor Cottage. The bungalows would be sited approximately 1.5-2 metres from the boundary shared with the rear gardens of the two-storey residential properties of Sandiways Road. These properties are the nearest residential dwellings and there is a 14m interface distance achieved between their rear elevations and the north elevation of the proposed dwellings.

Concerns have been raised relating to loss of light and privacy. However, the only windows on the northern elevation of the proposed bungalows are secondary bedroom windows, an en-suite window and a back door. These windows are all at ground-floor level and would face out towards a sandstone wall and sporadic tree/vegetation screening which would block the majority of the view from these windows. It is therefore considered that the proposal would not result in a loss of privacy to neighbouring properties.

In terms of the objections about loss of light, the new bungalows would measure 2.1 metres to the eaves with a ridge height of 5.5 metres. Given the small scale nature of the dwellings, and a minimum distance of 14 metres from the properties on Sandiways Road, it is not considered that they would have a detrimental impact upon the amenities of neighbouring properties. Whilst the roofscape of the new dwellings would be visible from Sandiways Road properties, this would have minimal impact upon the amenities of these properties and does not warrant refusal of the application.

Other Issues

The two small bedroom windows located on the northern elevation of the proposed bungalows would only be secondary windows for the bedrooms they serve, with a larger window facing eastwards. Windows to the east, west and south elevations provide good outlook for future occupiers without harming any surrounding residential properties and the Local Planning Authority are therefore satisfied that the new units provide good levels of outlook and light.

SEPARATION DISTANCES

Habitable room windows directly facing each other should be at least 21 metres apart. Main habitable room windows should be at least 14 metres from any blank gable. These distances are met.

HIGHWAY/TRAFFIC IMPLICATIONS

The new dwellings would utilise the same access as Anchor Cottage. This modern, two-storey detached dwelling contains a habitable window which is approximately 6 metres from the access road and therefore complies with the distance specified within SPG10. Concerns have been raised relating to highway safety issues. Our records show that the vehicle access at its narrowest point (between 240 Wallasey Village and the public house) measures approximately 3.5 metres in width, this access would open up towards where the new residential bungalows would be positioned to achieve a width of 5.3 metres. Additionally, there would be sufficient space on both sites for vehicles to turn.

Off-street parking will be provided to the front of the proposed dwellings. It is not considered that the creation of two additional dwellings will have an adverse impact on highway safety to such a degree as to warrant refusal of the application. The site is within a highly sustainable location, close to local services and train stations and the proposal is therefore considered acceptable.

ENVIRONMENTAL/SUSTAINABILITY ISSUES

Concerns were raised relating to bats roosting on the site and a Bat Survey was subsequently submitted. This survey concludes that no potential roost features for bats were observed during the survey, and that the trees have no potential to hold bat roosts and the proposed works will have no impact upon bat populations in the local area.

HEALTH ISSUES

There are no health implications relating to this application.

CONCLUSION

The proposed development will not harm the character of appearance of the area or the amenities of neighbouring properties, and is therefore considered to comply with Wirral Unitary Development Plan Policy HS4, HS10, SPG10 and the National Planning Policy Framework.

Summary of Decision:

Having regards to the individual merits of this application the decision to grant Planning Permission has been taken having regards to the relevant Policies and Proposals in the Wirral Unitary Development Plan (Adopted February 2000) and all relevant material considerations including national policy advice. In reaching this decision the Local Planning Authority has considered the following:-

The proposed development will not harm the character of appearance of the area or the amenities of neighbouring properties, and is therefore considered to comply with Wirral Unitary Development Plan Policy HS4, HS10, SPG10 and the National Planning Policy Framework.

Recommended Decision: **Approve**

Recommended Conditions and Reasons:

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.

 Reason: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

2. The development hereby permitted shall be carried out in accordance with the approved plans received by the local planning authority on 29th May 2018 and listed as follows: plan/drawing number 1735 01 Revision A (date 02.07.18).

 Reason: For the avoidance of doubt and to define the permission.

3. Before any construction commences, samples of the brick and roof tile materials to be used in the external construction of this development shall be submitted to and approved in writing by the Local Planning Authority. The approved materials shall then be used in the construction of the development.

Reason: To ensure a satisfactory appearance to the development in the interests of visual amenity and to comply with Policy HS4 of the Wirral Unitary Development Plan.

4. Unless otherwise agreed in writing and in line with the surface water manage hierarchy, a scheme for the disposal of foul and surface waters for the entire site shall be submitted to and approved in writing by the local planning authority. For the avoidance of doubt this site must be drained on a separate system combining just prior to connection to the public combined sewerage system. Any surface water draining to the public surface water sewer must be restricted to a maximum pass forward flow of 10 l/s. The development shall be completed, maintained and managed in accordance with the approved details.

Reason: To ensure a satisfactory form of development and to prevent an undue increase in surface water run-off and to reduce the risk of flooding.

5. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2008 (or any Order revoking or re-enacting that Order) no external alterations or extensions shall be carried out to the buildings hereby approved.

Reason: To safeguard the amenities of the occupiers of adjoining property and the area generally and to accord with Policy HS4 and HS10 of the Wirral Unitary Development Plan.

Further Notes for Committee:

1. A pre-site inspection is required prior to the development works commencing with the LA- any damage to the existing highway that occurs as a result of the development would require reinstatement, at the developers expense, to the LA specifications and written approval. For further details contact Highway Management, area manager via www.wirral.gov.uk

Consent under the Highways Act is required for the construction of a new or the amendment/removal of an existing vehicular access. Such works are undertaken at the developer's expense, including the relocation/replacement and/or removal of street furniture and vegetation as necessary. Submission of a S50 Highway Opening Notice is required prior to commencement of any works on the adopted highway. Please contact the Council Highway Management team area manager via www.wirral.gov.uk prior to the commencement of the works for the approval of the proposed details

Last Comments By: 11/07/2018
Expiry Date: 24/07/2018